



Urban Commercial Overlay Overview & Best Practices

Overview

Urban commercial corridors throughout the city were developed at a time when people tended to walk more, drive less, and live or work closer together. While the city cannot fully return to that bygone era, many in Columbus have asked that the city ensure new development in these older districts is in keeping with local historic character, a denser urban pattern, and supportive of walking and biking. The Urban Commercial Overlay (UCO) was adopted by City Council in 1999 for that purpose (**please see city code section 3372**).

What is an overlay?

It is a special zoning district that places design standards on top of existing, underlying zoning. The UCO addresses the placement of buildings and parking, windows, plazas and outdoor dining, landscaping and buffering, and other site design issues. It does not address land use, which is defined by the underlying zoning.

What are the goals of the UCO?

The following outlines the key goals of the UCO.

- To protect, re-establish and retain the unique architectural and aesthetic characteristics of older urban commercial corridors.
- To encourage pedestrian-oriented development featuring retail display windows, reduced building setbacks, rear parking lots, and other pedestrian-oriented site design elements.
- To implement key policy recommendations of neighborhood plans and design studies.

Success to date

Since its adoption, the UCO has been applied to 25.5 miles of commercial corridors throughout the city. Examples include N. High Street in the University District, Old North Columbus and Clintonville; S. High Street in the Brewery District; E. Main Street in the Near East; W. Broad Street in Franklinton and on the Hilltop; Cleveland Avenue in S. and N. Linden; and portions of Lockbourne Road on the South Side. Within these districts a significant amount of infill development has occurred.



COTA Transit Center on the E. Main business corridor.



The CMHA headquarters in the Four Corners project area successfully fulfills UCO design standards.

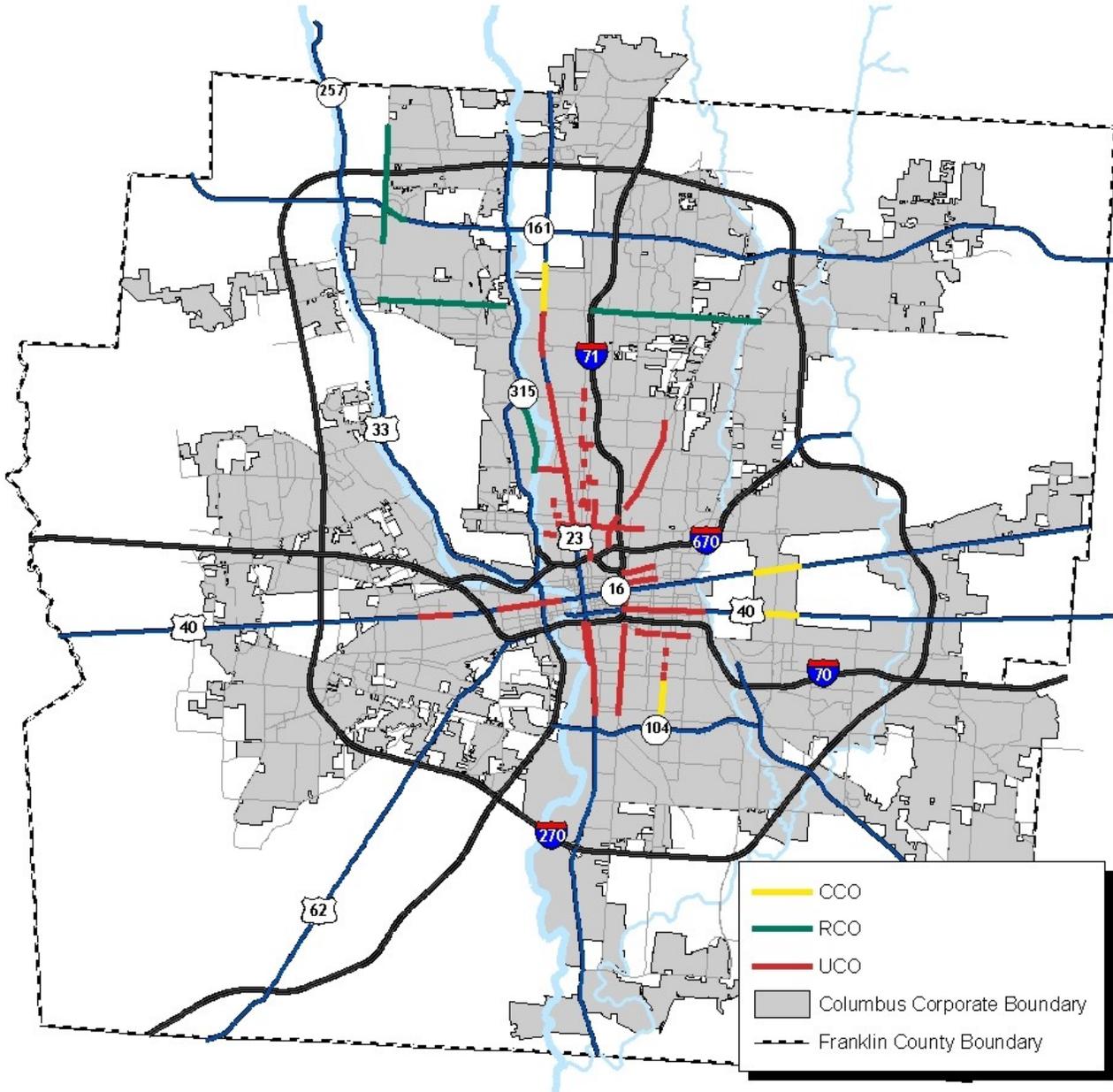


City of Columbus
Mayor Michael B. Coleman

Department of Development
Boyce Safford III, Director

Adopted UCOs

Below is a map of overlays adopted in the city.



Contents

This document addresses the following:

- Applicability
- Process
- Development Standards
- 2009 Amendments
- Best Practices & Case Studies

Applicability

The “placement, construction, or reconstruction” of a principal building is subject to the standards and requirements of the UCO. These provisions are not applicable to “routine maintenance” and the “in-kind replacement of materials”. The UCO only applies to retail, restaurant, office, or medical office uses. The UCO doesn’t apply to residential, manufacturing or institutional uses.

More specifically:

- The expansion of a principal building’s gross square footage by up to 50 percent is subject to the building design, and landscaping and screening standards.
- Expansions by more than 50 percent are subject to all provisions of the applicable overlay.
- The extension or expansion of a principal building towards a public street is subject to all applicable standards.
- Exterior alteration of a primary building frontage is subject to the building design standards (some exceptions are noted in the ordinance).
- The parking standards are triggered by a development review process and apply to all existing buildings, alterations, and new construction.
- The construction of a new parking lot, graphic, exterior lighting, fence or other accessory structure is subject to all applicable provisions.

In 2009, City Council adopted minor amendments to the UCO, which are summarized below in the form of a Q&A.

- **What is the impact of the overlays on potential façade improvements to an existing commercial property?** Façade improvements to an existing commercial structure require compliance with the following overlay standards: windows, doors, building frontage design, and screening of roof-top mechanicals. But they do not require compliance with setback and other standards that would require a complete demolition of an existing structure.
- **Does a façade improvement constitute “reconstruction” of a building?** Reconstruction of a building requires compliance with all overlay standards. Façade improvements do not constitute reconstruction in order to assure property owners that such work would not trigger all overlay standards.
- **What is the impact of the overlays on manufacturing uses?** Overlays only apply to commercial retail, restaurant, office or medical office land uses. The overlays do not apply to manufacturing uses.
- **Do the overlays apply to the restriping or reconfiguration of existing parking lots?** Parking lot related standards apply to the development of new parking lots. Overlay standards do not apply to the restriping or reconfiguration of existing parking lots.

In architectural review commission districts, properties are subject to setback, landscaping and screening, lighting, and parking and circulation standards, but not building design and graphics standards (these are addressed by the individual architectural review commissions).

It is important to note that overlay standards pre-empt the comparable/similar standards of the underlying zoning district.



New investment on E. Main Street under the UCO, including enhanced streetscape treatments.



North Central Mental Health in the N. High UCO just south of campus.



The joint city-Ohio State community policing center in the UCO in the Weinland Park neighborhood.

Regulatory Process

The overlays require standards that are met through the zoning clearance and building permit process. This means that if a project meets all requirements of the applicable commercial overlay, as well as all other applicable zoning and building requirements then a building permit can be issued. That has always been the intent of the overlays, other than when a given overlay may fall within a design review district such as the University Area Review Board. If a variance is needed then the property owner will have to apply for such variance and move through the standard review and approval process.

Development Standards

This section provides an overview of the key development standards that apply within the UCO. The following topics are addressed:

- **Setbacks**
- **Building design**
- **Graphics**
- **Landscaping**
- **Lighting**
- **Parking and circulation**

Setbacks

The setback requirements are intended to clearly delineate a relationship between building placement and public right-of-way that reflects the development character of older commercial corridors. Setbacks are especially important to the citywide goal of walkability; the more a building, its entrance and display windows are oriented to the pedestrian, the more likely walking and pedestrian access are accomplished.

Element	Requirement	Comments
Minimum Building Setback	0 feet	<i>Ensures that buildings may front the public sidewalk.</i>
Maximum Building Setback	10 feet	<i>Ensures that a consistent street wall is established in these denser, walkable corridors.</i>
Except where a public-private setback zone is provided (e.g. outdoor dining)	15 feet for up to 50 percent of the building frontage	<i>Provides flexibility to encourage outdoor dining and other public spaces.</i>
Parking Lots and Accessory Building Location	Parking lots and accessory buildings shall be located behind the principal building	
	Where access is not possible from a public alley or street, up to 50% may be located to the side of the principal building	



Mixed use infill on N. High Street in the University District.



Infill development in the Brewery District that illustrates the UCO setback requirement along S. Front Street.

Element	Requirement	Comments
Minimum Setback for Parking Lot along Primary Street	5 feet	
Minimum Setback for Fences and Masonry or Stone Walls	0 feet	

Building Design

The following building standards are required in the UCO. These standards are one of the key focuses of the UCO because the relationship of building placement and orientation to the road and sidewalk is critical to the goals of the individual overlays.

Element	Requirement	Comments
Entrances	A primary building frontage shall incorporate at least one main entrance door.	<i>Provides a well defined pedestrian entrance from the sidewalk, thereby encouraging walking and accessibility.</i>
	At a building corner where two primary building frontages meet, one main entrance door may be located so as to meet the requirement for both building frontages.	<i>Provides flexibility.</i>
Building Width	The width of a principal building(s), including any significant architectural appurtenances thereto, along a primary building frontage shall be a minimum of 60 percent of the lot width; except for a building serving an activity that occurs outside a structure.	<i>Ensures a strong street wall along the public sidewalk, which encourages walkability. Significant gaps between buildings will discourage walking because the environment is less pleasant than walking along retail storefronts.</i>
Vertical Elements	A building frontage that exceeds a width of 50 feet shall include vertical piers or other vertical visual elements to break the plane of the building frontage. The vertical piers or vertical elements shall be spaced at intervals of 15 feet to 35 feet along the entire building frontage.	<i>Breaks up the visual character of a building face, thereby creating a more visually interesting structure and walking experience.</i>
First Floor Windows	For each primary building frontage, at least 60% of the area between the height of two feet and ten feet above the nearest sidewalk grade shall be clear/non-tinted window glass permitting a view of the building's interior to a minimum depth of four feet.	<i>Encourages walking by creating a more interesting pedestrian experience. It also promotes the business activity of the retail storefronts.</i>
	For a secondary building frontage, the pattern of window glass shall continue from the primary frontage a minimum distance of ten feet.	



This BW3 restaurant in the University District successfully addresses the corner with its prominent entry feature.

Street Wall: Where several buildings line up to define a proper walking environment.

Element	Requirement	Comments
Upper Story Windows	Upper story windows are generally smaller than storefront windows at street level, are spaced at regular intervals and give scale and texture to the street edge formed by building facades:	<i>Recognizes that regularly spaced upper story windows (any story above ground) create a repeated pattern for unity and are an integral part of the building design, thereby creating a more pleasing built environment.</i>
	1. For any new installation or replacement of upper story windows, the new/replacement windows shall be clear/non-tinted glass.	
	2. Windows shall not be blocked, boarded up, or reduced in size, unless otherwise required by code for securing a vacant structure.	
	3. At least 25 percent of the second and third floor building frontages (as measured from floor to ceiling) shall be window glass unless historic documentation (e.g. historic photos) from when the building was first constructed can be provided that shows a different percentage of window glass was used on the second and third floor building frontages. In such cases, the historic percentage shall be maintained.	
Roof-Mounted Mechanicals	All roof-mounted mechanical equipment shall be screened from public view to the height of the equipment. The design, colors and materials used in screening shall be architecturally compatible with the rooftop and the aesthetic character of the building.	<i>Addresses an aesthetic issue; screening mechanical units is a common requirement to enhance the built environment.</i>
Pickup Units	Pickup units and coverings are prohibited on primary building frontages and shall be attached to the rear or side of the principal building.	<i>Pickup units are auto-oriented and conflict with the intent of these overlays, but are necessary for the conduct of business and therefore are to be located away from pedestrian areas.</i>
Awnings	Backlit awnings are not permitted.	



The pickup unit – not viewable from the primary street – is located to the rear of the Taco Bell on N. High in the University District.

Graphics

The UCO establishes additional prohibitions to the city’s graphic standards applicable to all non-residential uses.

Element	Requirement	Comments
General	In addition to signs prohibited in Chapter 3375, the following types of signs are not permitted: off-premise signs, billboards, signs with flashing lights or bare bulbs, co-op signs, rotating signs, monopole signs, automatic changeable copy signs, bench signs, and roof-mounted signs.	<i>These provisions include changeable copy signs, whether mechanical, electric, digital or other methods or processes that permit copy to be changed on the sign.</i>

Landscaping

Landscaping and screening standards seek to mitigate land use impacts and to enhance the built environment.

Element	Requirement	Comments
Surface Parking Lots	Lots shall be screened from all abutting public streets using the following standards:	<i>In architectural review districts the commissions will approve screening.</i>
	1. A four-foot high solid masonry or stone wall; or a four-foot high metal tube or solid metal bar fence located at the street right-of-way line (property line), with or without masonry pier supports, with a minimum three-foot wide landscaped area along either side of the fence.	
	2. The landscaped area shall be planted with three evergreen shrubs and one deciduous shade tree per 30 feet of frontage.	<i>This should be considered as a minimum standard.</i>
	3. In the case where the landscaping is provided on the street side of the fence, the fence may be set back three feet from the right-of-way line to allow for the required landscaping.	
Interior Parking Lot Landscaping	In all surface parking areas in which more than 10 parking spaces are required the following shall be provided:	
	1. One landscaped island or peninsula (162 square feet in area at least 9 feet in width) for every 10 parking spaces or portion thereof, unpaved, but concrete curbed, filled with suitable topsoil and covered with either grass, groundcover, or mulch.	<i>This ensures that trees have an adequate planting bed to ensure long term survivability and growth.</i>



Parking lot screening under the UCO at a Walgreen’s in Clintonville



Parking lot perimeter landscaping, including a bioswale, at the Kemba Credit Union on N. High.

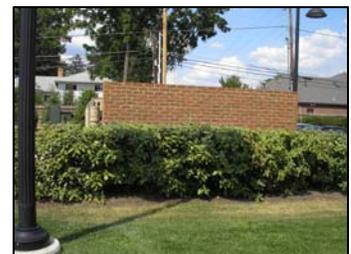
Element	Requirement	Comments
	2. No less than one shade tree shall be provided in each landscaped island or peninsula.	
	3. Every parking aisle that is bounded at an end by a traffic lane shall be terminated at such traffic lanes by such a landscaped island or peninsula.	
	4. Landscaped islands or peninsulas do not need to be uniformly spaced, but must be contained within and dispersed throughout the interior of a parking lot.	
	5. Space devoted to interior landscaping shall be in addition to any required front, side or rear yard or any required screening area.	
	6. If part of a bioretention or other storm water control measure approved by the director of public utilities, curbs on landscaped islands or peninsulas may contain openings to allow for drainage. The required tree for an island or peninsula designed for bioretention shall be flood tolerant.	<i>This encourages the use of bioretention approaches by allowing them to be counted towards landscaping requirements. Public Utilities also off-sets stormwater charges when using approved bioretention approaches.</i>
Fences and Walls	Fences, with or without masonry piers, shall be constructed of metal tubes or solid metal bars.	
	Fences shall not exceed a height of four feet.	
	Chain-link fences are prohibited.	
	Walls shall not exceed a height of four feet.	
	Masonry or stone walls are recommended for screening, sitting, or for use as independent architectural elements.	
Plant Installation and Maintenance	Plant species shall be installed and maintained as follows:	<i>Contact the city urban forestry program at 645-6640 for consultation regarding appropriateness of plant species, especially relative to meeting screening requirements and for low maintenance considerations.</i>
	1. Shade trees shall be a minimum of 2 and 1/2 inches in caliper.	
	2. Ornamental trees shall be a minimum of two inches in caliper.	
	3. Hedges and shrubs may be	



Parking lot interior landscaping, at the retail development on N. High.



Foundation landscaping at the Kemba Credit Union on N. High.



Dumpster screening for a retail development in the UCO.

Element	Requirement	Comments
	deciduous or evergreen but shall be a minimum of 24 inches in height at time of planting.	
	4. Native species as recommended in the Stormwater Drainage Manual are recommended for all landscaping requirements.	
	5. All plants and landscaped areas shall be maintained in a neat and healthy condition.	
	6. Replacement plants shall be planted no later than the next planting season; and shall also meet the size requirements herein.	
Miscellaneous	Dumpsters. Dumpsters shall be located behind the principal building and be screened from public view to the height of the dumpster.	<i>Additional provisions regulating dumpsters are in Chapter 3342.</i>
	Ground Mounted Mechanical Equipment. Such equipment shall be located behind the principal building and be screened from public view to the height of the equipment.	<i>Evergreen landscaping is recommended to be used to meet this screening standard.</i>

Lighting

The lighting standards are intended to reduce glare and light trespass onto adjacent properties, as well as minimize light pollution.

Element	Requirement	Comments
General	Exterior lighting shall be designed, located, constructed, and maintained to minimize light trespass and spill over off the subject property.	<i>Minimizing light pollution is a high priority, especially because these districts are located adjacent to residential neighborhoods.</i>
	The average horizontal illumination level on the ground shall not exceed two foot candles.	
	The light level along a property line adjacent to a residentially-zoned or used property shall not exceed an average intensity of one-half foot candle.	
	Lights greater than 14 feet shall have fully shielded, recessed lamps directed downward to prevent glare and shine above the horizontal plane.	
	Non-shielded exterior lighting shall not exceed 14 feet above	



Cut-off light fixtures are very effective at reducing light spillage onto adjacent properties, as well as properly directing light to the correct spot to enhance safety and security.

Element	Requirement	Comments
	grade and shall not be more intense than 4,000 lumens per fixture.	
	Exterior building illumination shall be fully shielded. The maximum illumination of any vertical surface or angular roof surface shall not exceed four foot candles.	
	Canopy lighting shall be recessed within a canopy and use an opaque shield around the sides of a light.	
	All external outdoor lighting fixtures, which are being used for the same purpose, within a given development, shall be from the same or similar manufacturer's type to insure aesthetic compatibility.	<i>This is an important aesthetic consideration that minimizes visual clutter and facilitates design cohesion on a development site.</i>
Parking Lot Light Poles/Fixtures	The height of any parking lot light pole/fixture shall not exceed 18 feet above grade.	

Parking and Circulation

The parking standards provided for are intended to facilitate walkability. UCO areas are denser city corridors that require less parking as they are generally easy to reach on foot or bicycle and are well served by transit.

At the same time, uses for which a parking reduction is not granted require that the provided off-street parking not exceed the current code. This and the parking reduction standard are also intended to reduce the amount of impervious surface occurring within the older city, thereby providing for a greener built environment and reducing stormwater runoff.

Element	Requirement	Comments
Parking, Stacking and Circulation Location	Parking, stacking and circulation aisles are not permitted between the principal building and a street right-of-way line.	
Required Parking	In recognition of the development pattern associated with this overlay, the required number of off-street parking spaces for non-residential uses shall be reduced in the following manner:	
	1. All uses, regardless of size, are permitted a 25% reduction of the required parking in Chapter 3342.	
	2. All uses that are 10,000 square feet or less in size are permitted a 50%	

Element	Requirement	Comments
	reduction of the required parking in Chapter 3342. This reduction shall not be permitted for bars, cabarets, restaurants, night clubs, private clubs, places of assembly and medical offices, regardless of size.	
	3. Provided parking shall not exceed the standard provided for in Chapter 3342.	
	4. For this provision, area is based on total size of the use including any additions.	

Best Practices & Case Studies

The following project examples serve as best practices and case studies of effectively constructed private and public developments within the UCO that exist around the city.

Districts

- Clintonville South/University North
- University Central/South

Sites

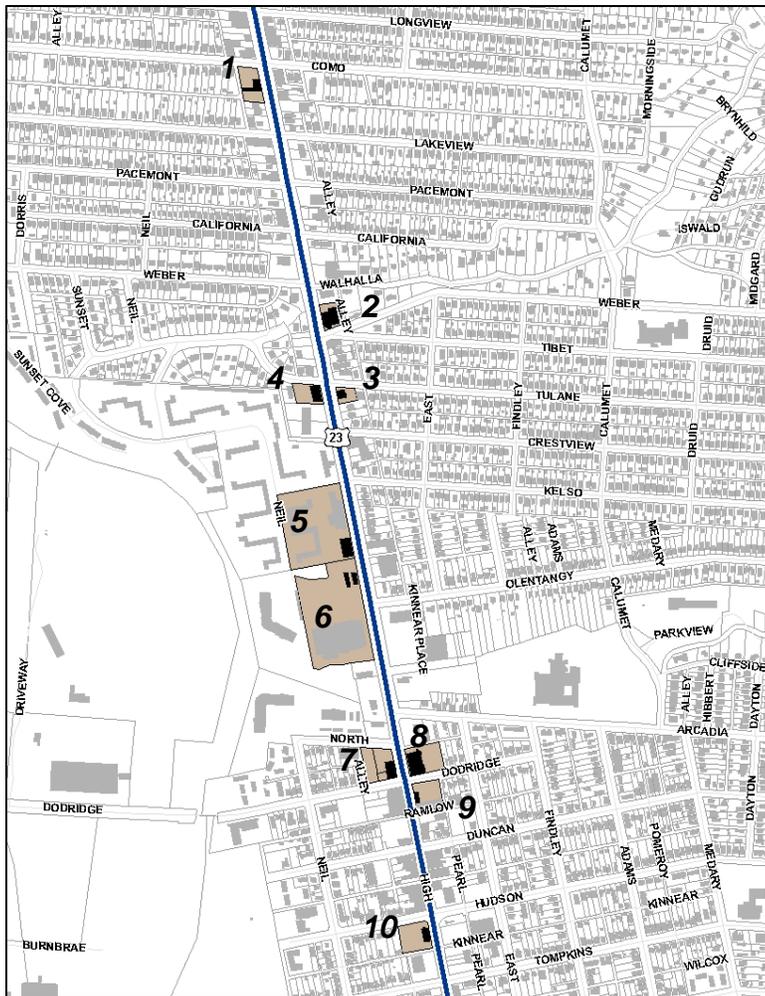
- Beechwold Commons, Clintonville
- COTA Transit Center, Near East
- Mixed Use Building, Clintonville
- Gateway Building, King-Lincoln District
- Get Go, Clintonville
- Kroger, University District
- Subway, Southside
- Taco Bell, University District
- Turkey Hill, University District
- Walgreen's, Clintonville

For Further Information

Building Plan Review	614-645-7562
Building Services Records/Research	614-645-6082
Engineering Plan Review/One Stop Shop	614-645-8458
Neighborhood Planning Section	614-645-6823
Zoning Clearance/Inquiries	614-645-8637
Zoning Public Hearings	614-645-4522

Clintonville South/University North

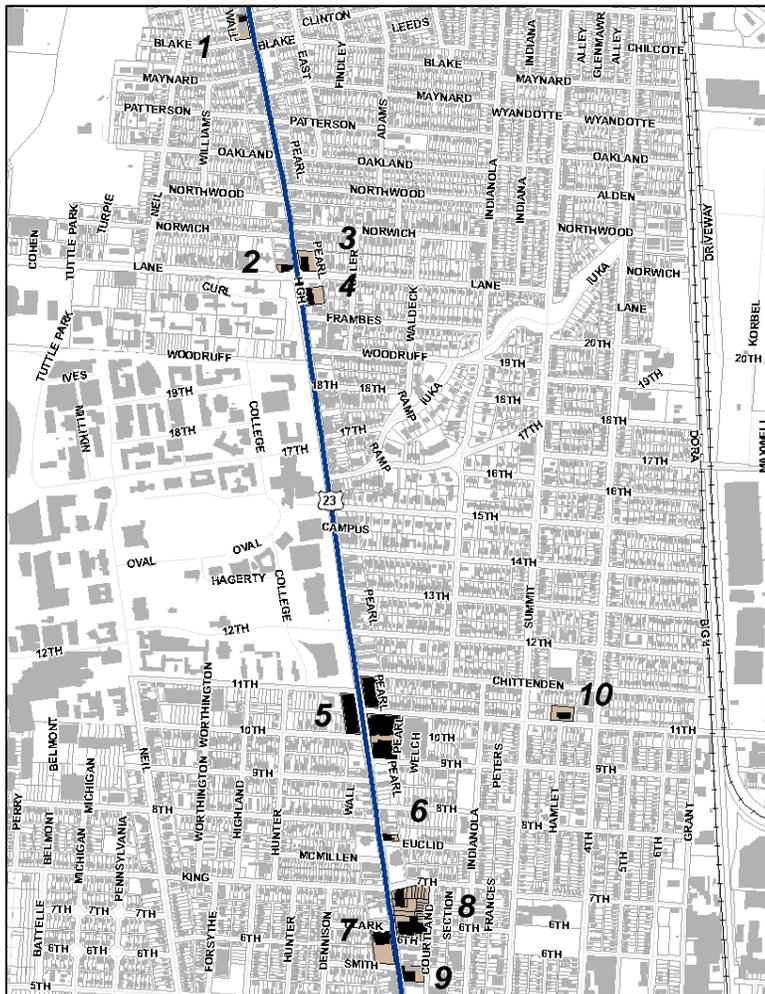
A number of commercial and mixed use projects have been constructed under the UCO in the Clintonville South and University North districts. The UCO has accommodated a variety of business types, from national restaurant and retail chains to local banks and mixed use buildings.



1. **Cooper State Bank** constructed a new branch at Como and High.
2. The **Terraces and Walhalla** are not subject to the UCO because of the residential uses, but was constructed consistent with UCO setback requirements.
3. The **Cup O'Joe Building** which includes retail, office and personal services uses.
4. A four-tenant **retail building** with outdoor dining; traditional neighborhood services include a restaurant, bakery, hairstylist and take-out pizza establishment.
5. A **mixed use building**, including a pet store and an outfitters, is located as part of the Olentangy Village complex.
6. The **Get Go** convenience store and gasoline pumps were developed as part of the Giant Eagle.
7. A new **Turkey Hill** convenience store and gasoline pumps (approved but not yet constructed).
8. A **CVS** pharmacy with drive-thru.
9. A **plasma donation center**.
10. A **Taco Bell** with drive-thru and outdoor dining area.

University Central/South

A number of commercial and mixed use projects have been constructed under the UCO in the University Central and South districts. Major anchors include South Campus Gateway and the proposed rebuilt Kroger store and retail building.



1. Expansion of **North Campus Video**, including an additional set of adjacent storefronts.
2. The **BW3** store at the northwest corner of Lane and High.
3. The **CVS** drugstore opposite BW3.
4. A four-tenant infill **retail building** with outdoor dining.
5. The **South Campus Gateway** project that serves as a significant retail, restaurant/entertainment, residential and office mixed-used anchor for the OSU campus.
6. A **retail and residential two-story** infill building.
7. The **North Central Mental Health** building.
8. The **Kroger** store and separate four-tenant retail building (approved but not yet constructed).
9. A **retail and residential mixed use** infill building located just north of the High and Fifth intersection.
10. The city-OSU neighborhood **policing center**.

Beechwold Commons

Clintonville

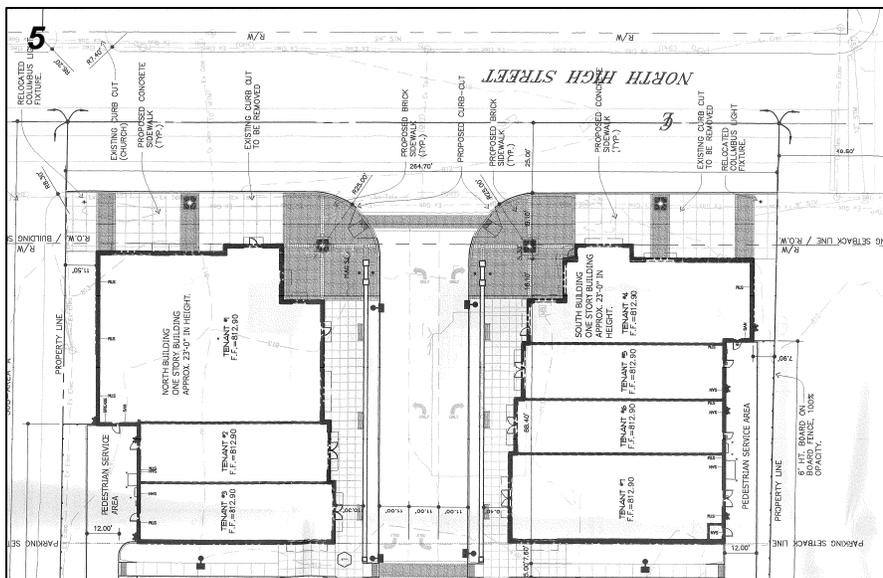
The mixed use commercial development located at 4400 block of N. High Street provides outdoor dining space, with parking located to the rear on a site shared with a house of worship.



1. The development consists of two halves centered on the main entry drive.
2. Outdoor dining is provided at the entry.
3. The facades are broken into vertical sections to create visual interest; awnings are using to complement storefronts.
4. The view towards High Street.



5. The site plan depicting the two buildings that comprise the project, each located north and south of the main entry drive.



COTA Transit Center

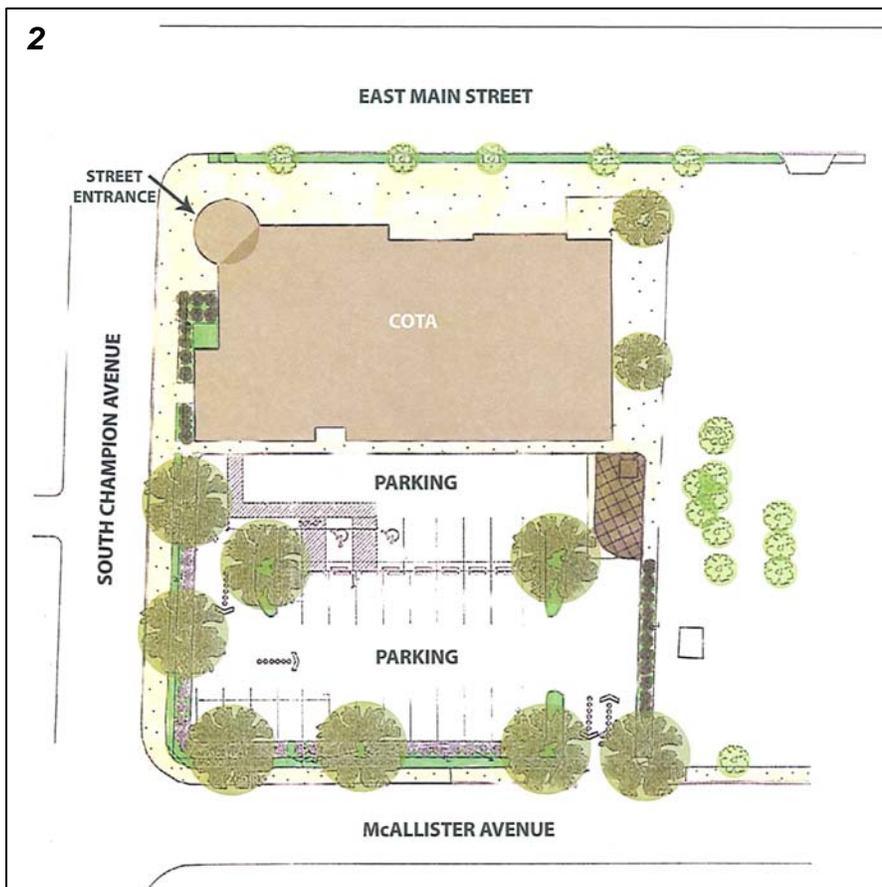
Near East

The COTA Transit Center located at 1119 E. Main Street is a 9,924 square-foot mixed use building that includes a day care center and retail space. It effectively addresses UCO standards, especially in the ways in which it addresses the street through its entry, windows, and front elevation architecture and materials.



1. The E. Main Street façade of the COTA Transit center, which is detailed by a variety of vertical elements, as well as brick and cultured stone patterns.

2. The site plan depicting the building and parking location, including the street entrance at the building's northwest corner.



Mixed Use Building

Clintonville

This mixed use building (11,000 square feet in total area) in Clintonville was one of the first buildings constructed under the UCO. It contains a Cup O' Joe coffeehouse and office and service businesses on the second level in this two-story building. The building is located at the corner with parking to the side and rear. An outdoor patio addresses the High and Tulane frontages.



1. The west elevation along High Street showing on-street dining.
2. The north elevation with outdoor patio.
3. The site plan showing the location of the building, patio, and parking.



Gateway Building

King-Lincoln District

The Gateway building is a three-story 56,000-square-foot infill development in the King-Lincoln district. It includes office and retail uses, including a new neighborhood coffeehouse/restaurant.



1. The front elevation at the corner of Long and Hamilton, showing the building's major architectural treatment and how it addresses the sidewalk.



2. The south and east façade adjacent to the parking lot (a local coffee shop and restaurant is located in this first floor space).

3. The site plan showing the location of the building and adjacent parking.



Get Go – Giant Eagle

Clintonville

The Get Go convenience store and gasoline pumps were constructed by Giant Eagle in 2008 consistent with the UCO. The uses are accessory to the grocery store, located at 2801 N. High Street in Clintonville. The convenience store and pumps are oriented to the interior of the site, with pedestrian access to the store also provided on the public sidewalk adjacent to the street.



1. The convenience store fronts High Street with a pedestrian entrance and windows along the sidewalk.
2. The convenience store effectively screens the pump islands from High Street.
3. Another view of the pump islands located behind the convenience store.
4. The site plan depicting the location of the convenience store and pump islands relative to the grocery store and the interior circulation of the property.



Kroger Retail Development

University District

The proposed new Kroger grocery store and retail development at the southeast corner of N. High and 11th serves as an outstanding example of a larger infill development, including a big box that fully complies with UCO requirements. Its imaginative layout and creative second retail building provides a strong street presence and re-establishes the building wall along this block of N. High.

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- 1. A rendering of the project's west elevation located along High Street, showing the main grocery store and the second retail building.
- 2. The site plan depicting the buildings and parking, as well as circulation pattern, loading docks and landscaping.

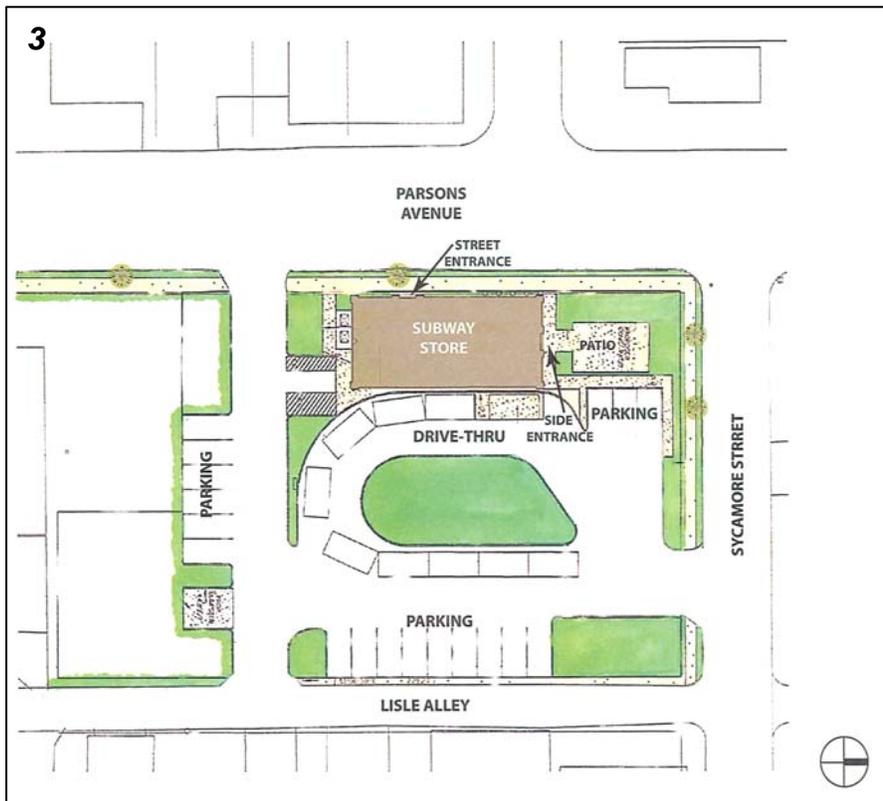
Edge Group

Subway Southside

The Subway located at 756 S. Parsons Avenue is an excellent example of a fast food restaurant infill development located at a corner intersection that also offers outdoor dining. This project is fully compliant with the UCO. The drive thru service is located on the rear elevation of the structure.



1. The building looking to the south with an outdoor patio placed at the corner of the lot.
2. The west façade showing how it addresses the street with an entrance and windows along the sidewalk.
3. The site plan showing building, parking, and outdoor dining; and drive-through placement along the rear elevation.



Taco Bell

University District

The Taco Bell restaurant located at 2553 N. High Street in the University District (Old North Columbus) locates the building at the corner with Hudson, with a drive-thru window and stacking lane on the west elevation internal to the site. An outdoor dining area and landscaping is located at the corner.



1. Pedestrian access and drive thru located on the west elevation.
2. The building's main facades located at the corner of N. High and Hudson.
3. A car accessing the drive thru located internal to the site.
4. Another view of the drive thru window and drive.
5. The site plan showing the building, drive thru and aisle, and parking configuration. Outdoor dining is located at the north end of the building at the corner.

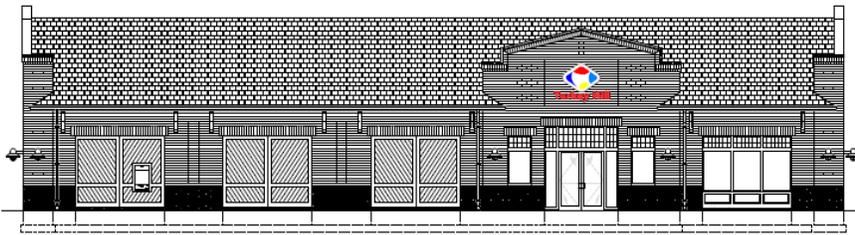


Turkey Hill

University District

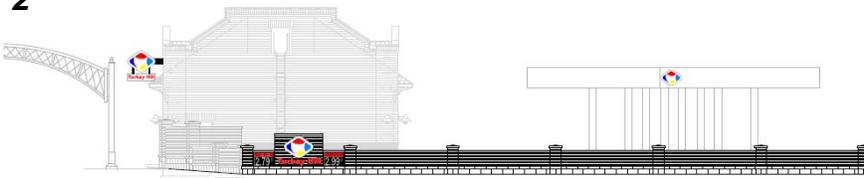
Turkey Hill is constructing a convenience store and gas pumps at the northwest corner of N. High and Dodridge in the University District. The site layout is compliant with the UCO – building is located within 10 feet of the sidewalk with gasoline pumps and canopy to the rear.

1



1. Architectural detail of the building's principal elevation along High Street.

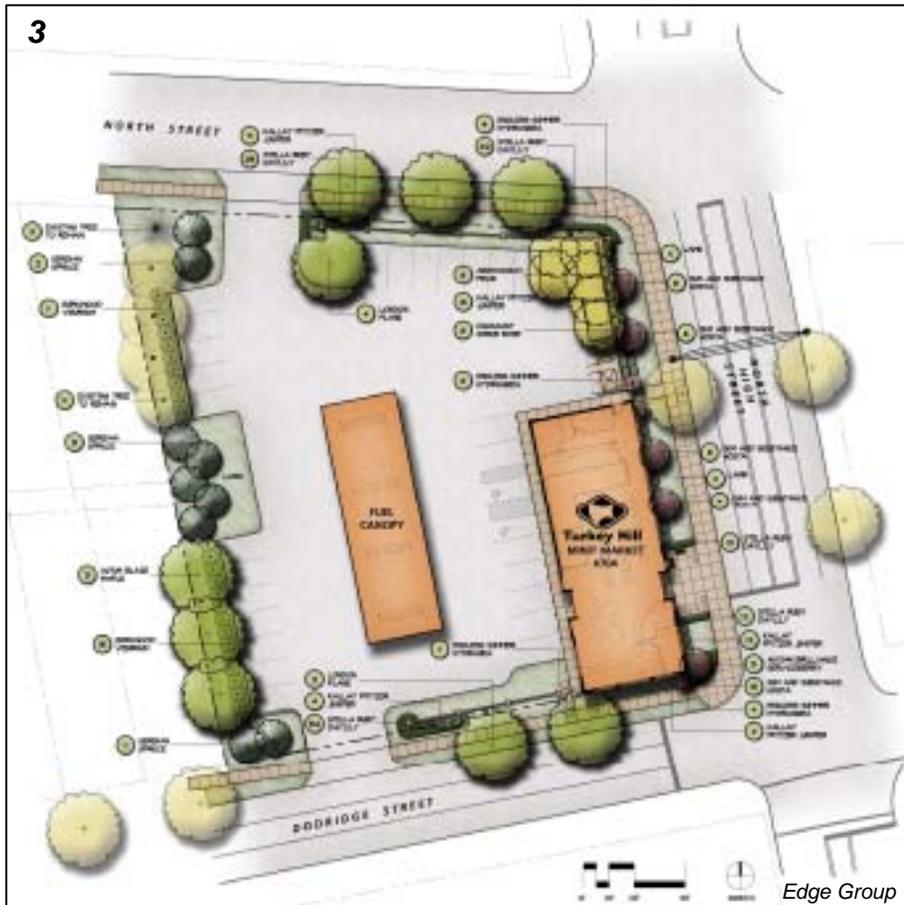
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2. Architectural detail of a cross section of the site showing the gas pumps and canopy located to the rear of the convenience store.

3. Site plan showing the relationship between the building, gas pumps and canopy, parking and circulation. Note that access is limited to the two adjacent side streets.

3



Edge Group

Walgreen's Clintonville

The Walgreen's drugstore located at 4890 N. High Street occupies a southeast corner, with the building placed at the corner and parking to the south. Drive thru service is provided on the east façade along the alley. Pedestrian access is not provided at the northwest corner of the building, although that corner serves as a dominant architectural feature.



1. The front entry to the building addresses the sidewalk along High Street.
2. The parking lot is well screened with landscaping, a wrought iron fence, and brick columns.
3. The site plan showing building, parking, and drive-through placement along the rear elevation (alley).





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